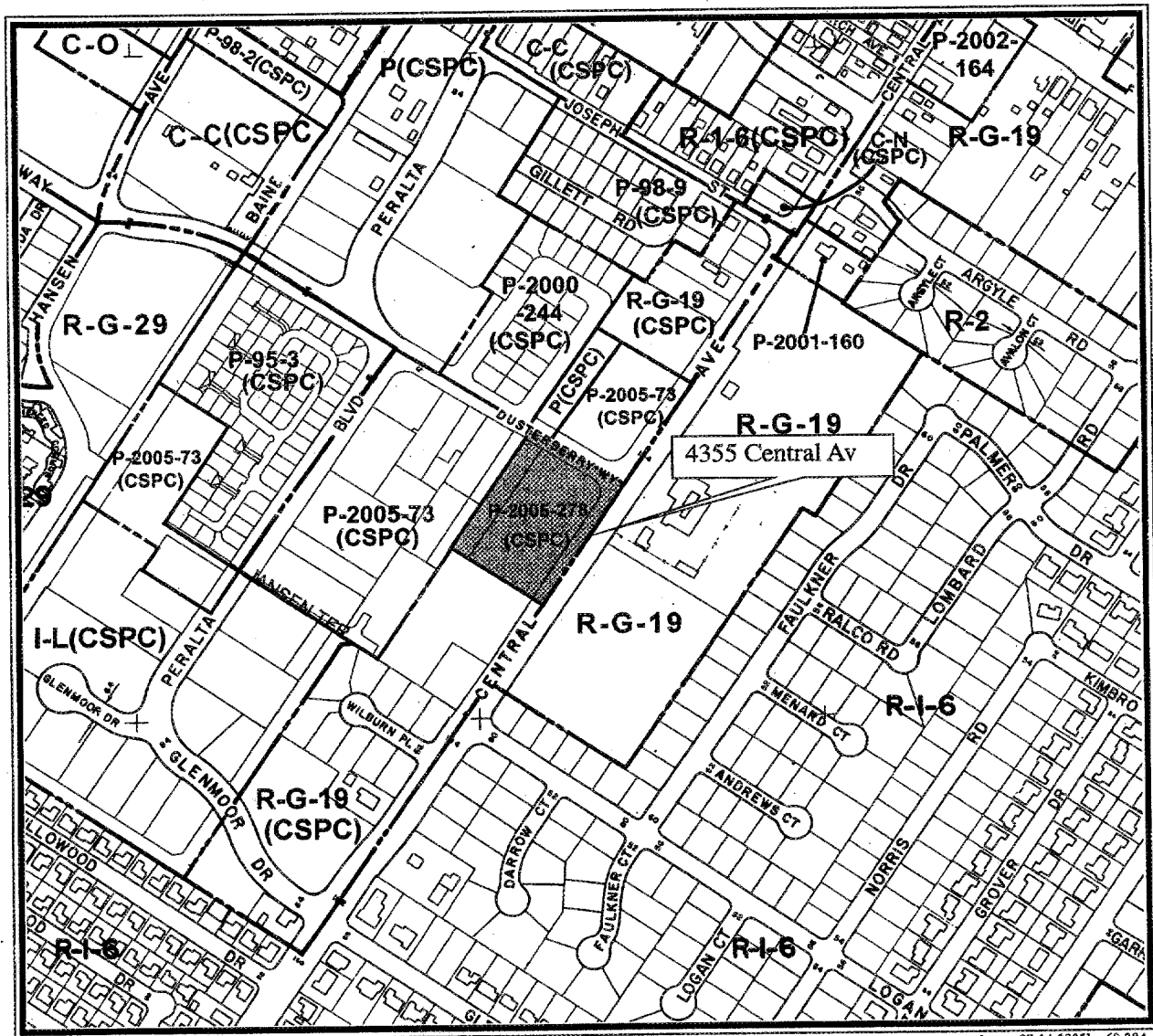


On the _____ day of _____, 2005.

AFFECTS ZONING MAP(S) FOR THE CENTERVILLE PLANNING AREA



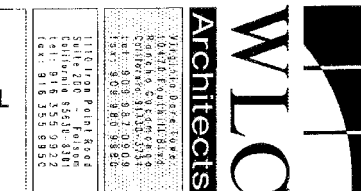
[pc on 07-14-2005] 60-384

Project Number: PLN2005-00278 (Pd)

BSM

AGENDA ITEM 2.28

AUTOMOTIVE REPAIR SHOPS



Phase 1 ... Fire Station No.6 only.

1. Site Area = 59,799sf (1.37 Acres)
2. Building Area:
The Station No. 6, 13,183sf
A. First Floor = 10,193sf (71.72% coverage)
B. Second Floor = 2,985sf (50.00% coverage)
3. Required Net Site Coverage = 2,000sf (3.33% coverage)
4. Open Space = 25,805sf (43.1% coverage)
5. Paved Space = 20,875sf (34.8% coverage)
6. Parking Spaces = 21 Full Size Spaces
- A. Public / Visitor = 4 Spaces
- B. Accessible = 1 Space with Loading Area
- C. Staff = 16 Spaces

Phase 2 scope (shown for information purposes) is for the future Conference/Training Classroom edition and related parking lot.

GENERAL NOTES:

1. Currency: US Dollar (Section 50.1)
 2. Base Allowable For Area: 60000 (Unit: Sq)
 3. Allowable Area Increase:
 4. Separation on 3 sides: (Section 505.1.3) 10000
 5. Automatic Sprinkler System: (Section 505.3) 100% increase stands: 60000 x 2 = 120000
 6. Actual Area: 125000 (1st floor)
225000 (2nd floor)
350000 (3rd floor Footings)
- RESERVE APPARATUS/TOTAL BUILDING:
1. Occupancy Group: S-1 (Section 304.1)
 2. Construction Type: Type V (Unit: 308)
 3. Automatic Sprinkler System: (Section 505.3) 100% increase: 60000 x 2 = 120000
 5. Actual Area: 240000

Site Plan



True North Plan North

SITE PLAN

DRAWING
NUMBER : **A1.1**

CITY OF FREMONT
FIRE STATION NO. 6
SCHEMATIC DESIGN SUBMITTAL

4355 Central Avenue
Fremont, California
94536

Living Point Kees
Suite 200 - Folsom
California 95630-8300
Tel.: 916 355 9922
Fax: 916 355 9850

1047B-Foulm.II.B.I.v3
Rancho Colorado
California 91330-3738
tel: 909 987 0905
fax: 909 980 9820

Architects

OTW



APPROVED BY:

CITY ENGINEER

City/Project No. XXXXX

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REVISIONS

.....

DATE: 6/29/05 "S.M.A." = 30

PROJECT NUMBER: 03274.03



Vicente Orellana
70476 Foothill Blvd
Rancho Cucamonga
California 91730-3734
Tel: 909 387 0903
Fax: 909 380 9888

CITY OF FREMONT
FIRE STATION NO. 6
SCHEMATIC DESIGN SUBMITTAL
4355 Central Avenue
Fremont, California
94536



CITY ENGINEER

NO	DATE	BY	DESCRIPTION
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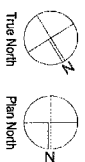
REVISIONS

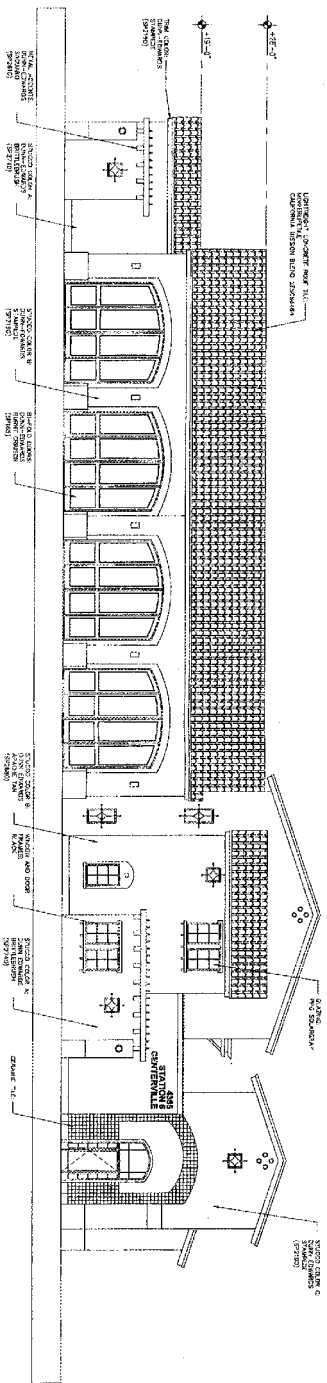
**FIRST & SECOND
FLOOR PLAN**

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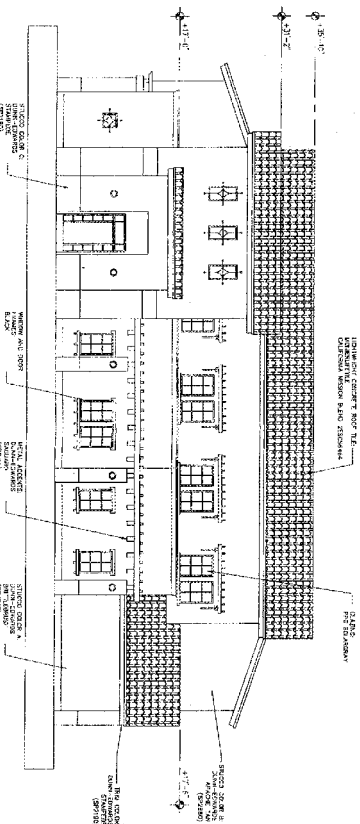
first floor area: 10,598 sf
second floor area: 2,585 sf
total sf: 13,183 sf

Second Floor Plan





South Elevation - Central Avenue



East Elevation - Dusterberry Avenue

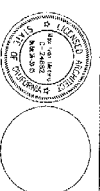


WLC Architects

10440 Foothill Blvd.
Suite 200
Foothill, CA 91030
Tel: 909.887.0889
Fax: 909.887.9885

1110 S. 2nd Street
Fremont, CA 94536
Tel: 916.335.9922
Fax: 916.335.9930

CITY OF FREMONT
FIRE STATION NO. 6
SCHEMATIC DESIGN SUBMITTAL
4355 Central Avenue
Fremont, California
94536



CONSULTANT

APPROVED BY:

CITY ENGINEER

City Project No. XXXXX

NO.	DATE	BY	DESCRIPTION
1			
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DATE: 6/30/05 SCALE:
PROJECT NUMBER: 027400

EXTERIOR
ELEVATIONS

DESIGNING NUMBER: A5.1



DRAWING
NUMBER : **A5.2**

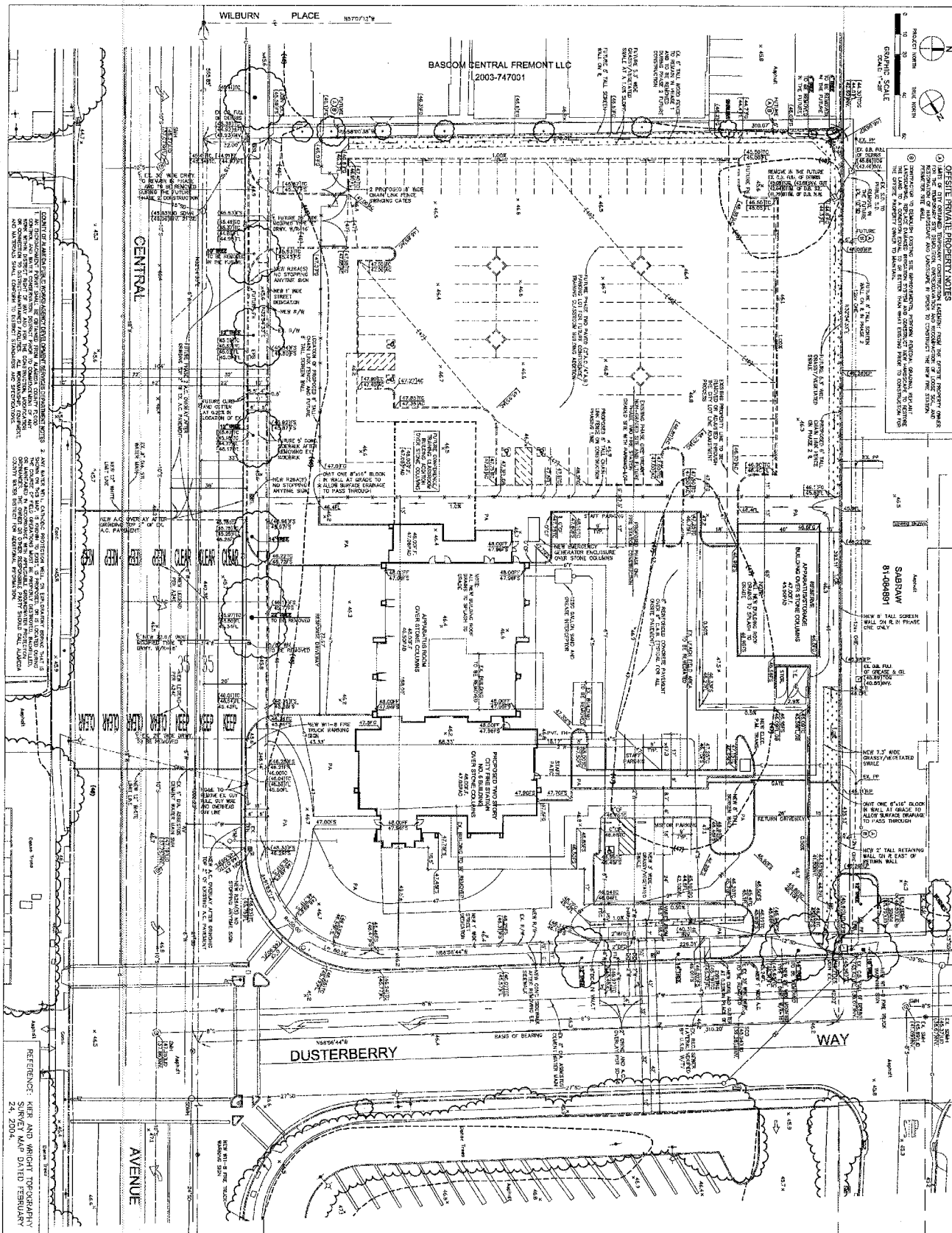
CITY OF FREMONT
FIRE STATION NO. 6
SCHEMATIC DESIGN SUBMITTAL
4355 Central Avenue
Fremont, California
94536

PRELIMINARY
GRADING, DRAINAGE AND
UTILITY PLAN TITLE SHEET

DRAWING
NUMBER

C1

JIN4003-00003 Change



OFFSITE PRIVATE PROPERTY NOTES

1. ALL OFFSITE PRIVATE PROPERTY LIES WITHIN THE CITY OF FREMONT. THE CITY OF FREMONT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OFFSITE PRIVATE PROPERTY. THE CITY OF FREMONT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OFFSITE PRIVATE PROPERTY.

2. THE CITY OF FREMONT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OFFSITE PRIVATE PROPERTY. THE CITY OF FREMONT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OFFSITE PRIVATE PROPERTY.

3. THE CITY OF FREMONT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OFFSITE PRIVATE PROPERTY. THE CITY OF FREMONT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OFFSITE PRIVATE PROPERTY.

DRAWING NUMBER	PRELIMINARY GRADING AND DRAINAGE PLAN	C2	City Project No.	PROJECT NUMBER: 1007-1007	DATE: 02/03/2004	DRAWN: G.H.H. CHECKED: M.S.T.	DATE: 02/03/2004	SCALE: 1"=20'	CONSULTANT: G.H.H. ENGINEERING, INC.	1000 3RD AVE. SUITE 200	FREMONT, CA 94536	TEL: 916.555.9922	FAX: 916.555.9920	CITY OF FREMONT	FIRE STATION NO. 6	SCHEMATIC DESIGN SUBMITTAL	4355 Central Avenue	Fremont, California	94536

CITY OF FREMONT

FIRE STATION NO. 6

SCHEMATIC DESIGN SUBMITTAL

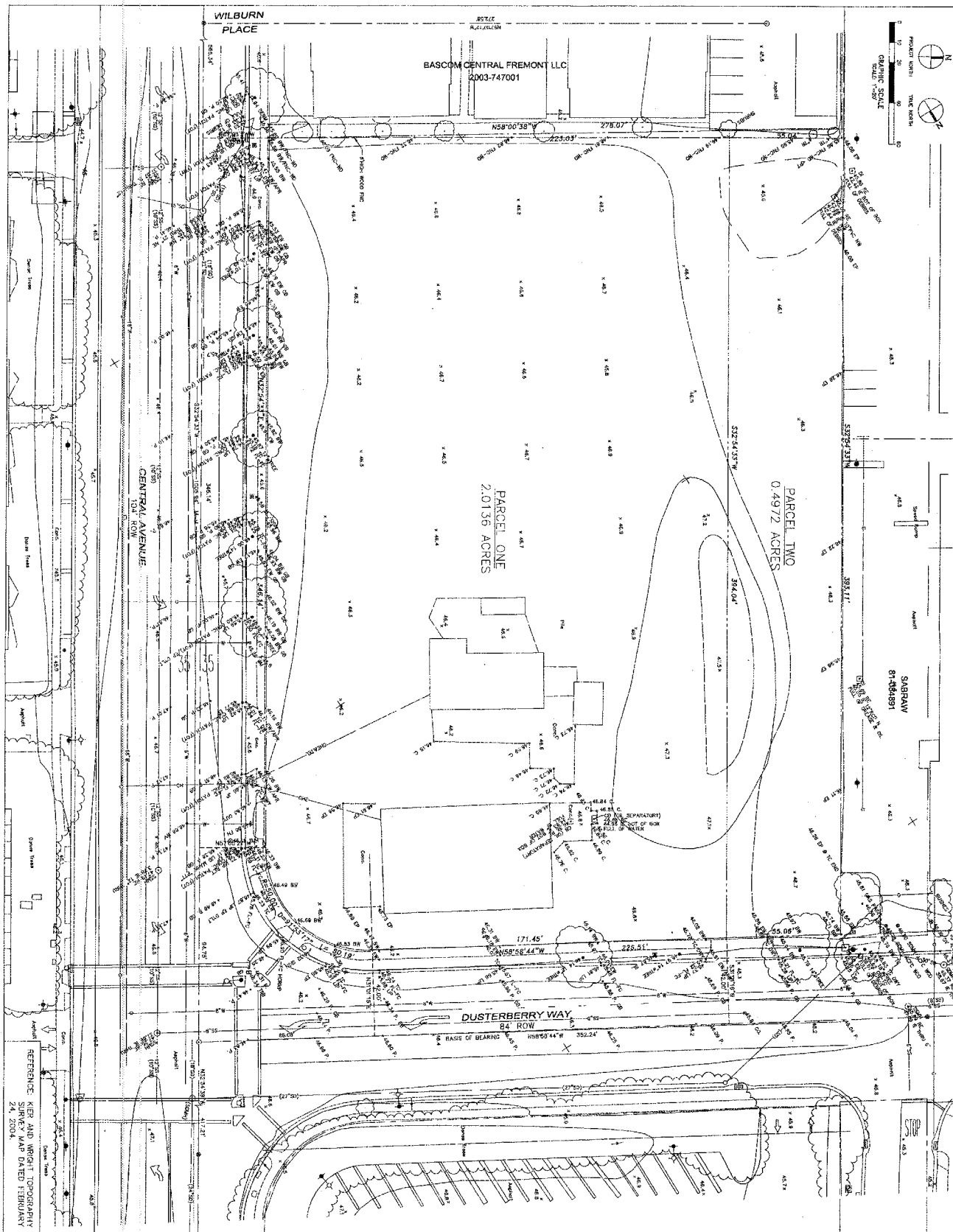
4355 Central Avenue
Fremont, California
94536

WILC

Architects

NORTHERN CALIFORNIA

1110 1st Ave. Suite 200
Fremont, CA 94536
Tel: 916.555.9922
Fax: 916.555.9920



CONSULTANT
KIRK AND WRIGHT, INC.
1110 East Main Road
Folsom, California 95630-4301
(916) 914-555-9922
Fax: 916-955-9950

PROJECT NUMBER: 1021400

CITY PROJECT NO.

DRAWN: G.H. CHECKED: M.S.L.

DATE: 08/08/05 **SCALE:** 1"=40'

REVISIONS

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RECORD TOPOGRAPHY SURVEY MAP

DRAWING NUMBER **C3**



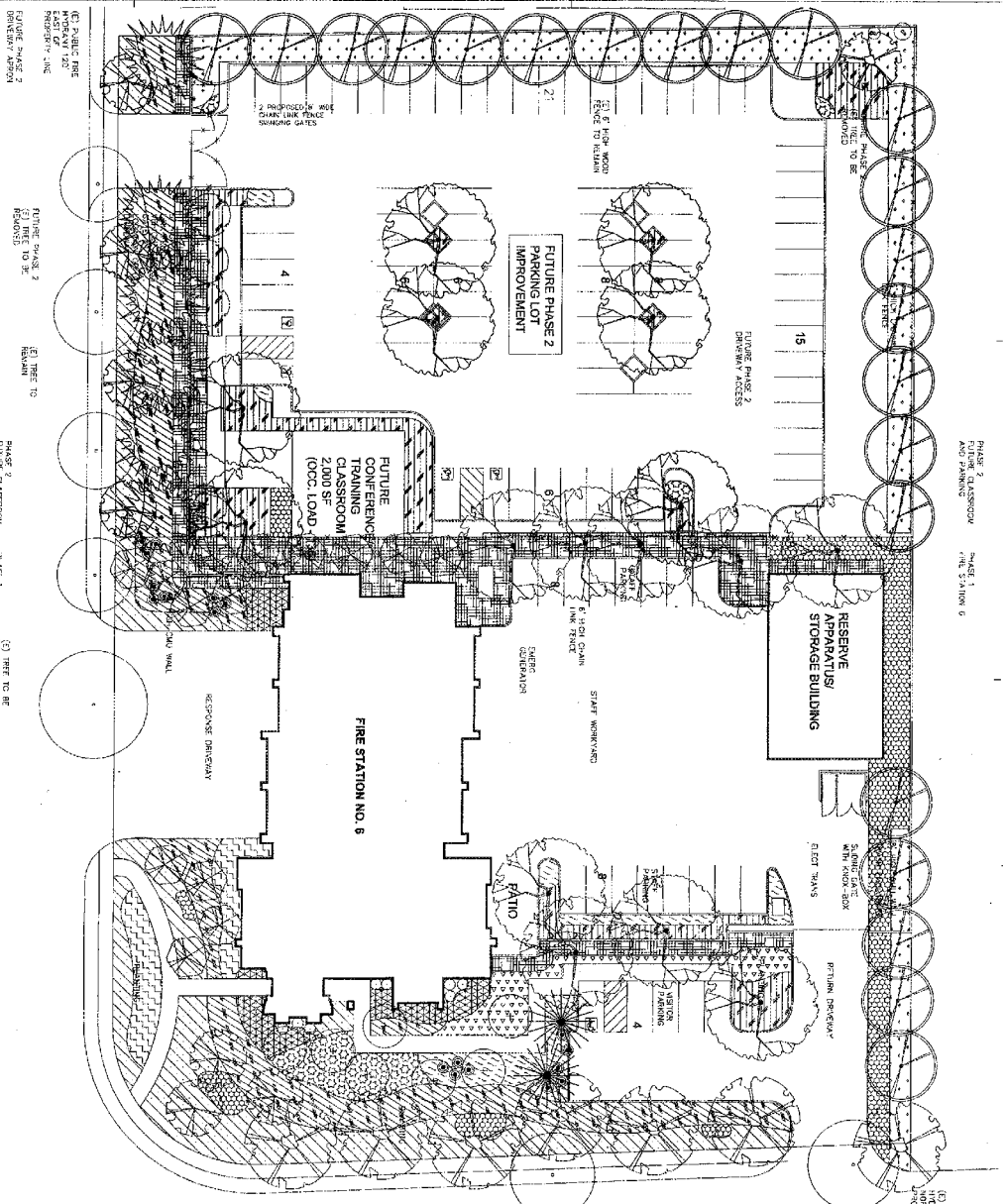
CITY OF FREMONT
FIRE STATION NO. 6

SCHEMATIC DESIGN SUBMITTAL

4355 Central Avenue
Fremont, California
94536

Architects
WILC

NORTHERN CALIFORNIA
1110 East Main Road
Folsom, California 95630-4301
Tel: 916-955-9922
Fax: 916-955-9950



CENTRAL AVENUE

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FUTURE PHASE 2
DRIVEWAY APPROX

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PHASE 1
DRIVEWAY APPROX

SYMBOL	BOTANICAL NAME	COMMON NAME
	Cedrus deodora	Deodar Cedar
	Cedrus occidentalis	Western Redcedar
	Gleditsia pinnatifida	Australian Willow
	Lagerstroemia indica	Crape Myrtle
	Parrotia persica	Persian Parrotia
	Pinus pinea	Italian Stone Pine
	Platanus occidentalis	London Plane Tree
	Podocarpus gracilior	Fern Pine
	Ulmus parvifolia	Chinese Elm
	Dielsia virginica	Forreight Lily
	Escallonia 'Froebelii'	Escallonia
	Hebe 'Laurifolia'	Coral Bells
	Hemerocallis hybrid	Evergreen Daylily species
	Penstemon setaceus 'rubrum'	Purple Fountain Grass
	Rhipsalis indica 'Ballerina'	Irish Hawthorn
	Rhododendron Azalea	Azalea
	Rhododendron	Rhododendron
	Salvia greggii	Salvia
	Sarcocolla 'Anthony Waterer'	Spirea
	Dactylis glomerata 'New-Fries soil'	Fescue blend
	Vinca minor	Dwarf Periwinkle



CITY ENGINEER
City Project No. XXXXX

DATE: 06/20/16
PROJECT NUMBER: 027400

CITY OF FREMONT
FIRE STATION NO. 6
SCHEMATIC DESIGN SUBMITTAL
4355 Central Avenue
Fremont, California
94536

1110 1st Point Road
Fremont, CA 94536-3081
Tel: 916 355-9322
Fax: 916 355-9353

WLC
Architects



A TREE SURVEY WILL BE PERFORMED TO IDENTIFY THE EXISTING STREET TREES AND POSSIBLE MITIGATION REQUIRED DUE TO REMOVAL OF THE TREES INDICATED

SCALE: 1" = 20' - 0"

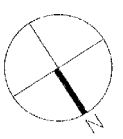


Exhibit "C"
Findings and Conditions of Approval
Fire Station #6 – Central Avenue (PLN2005-00278)

FINDINGS:

Based on the information in the staff report to the Planning Commission dated July 14, 2005, and the testimony at the public hearing, the Planning Commission finds as follows:

1. The proposed "P" district, an amendment to a Planned District, or given unit thereof, can be substantially completed within four years of the establishment. The applicant expects construction to begin in early 2006 and occupy the building within the four-year time period.
2. Each individual unit of development, as well as the total development, can exist as an independent unit capable of creating an environment of sustained desirability and stability or that adequate assurance will be provided that such objective will be attained; the uses proposed will not be detrimental to present and potential surrounding uses, but will have a beneficial effect which could not be achieved under other zoning districts.

This proposal is a Precise Planned District to allow the construction of a fire station. Public facilities may be located in residentially designated areas, although conditions may be established to limit the impacts of these uses on residents. The fire station would provide fire protection for the Centerville area of the City of Fremont and respond elsewhere in the City of Fremont by providing improved fire response. The proposed use will not be detrimental to present and potential surrounding uses because the location on the site and building have been designed to minimize impacts.

3. The streets and thoroughfares proposed are suitable and adequate to carry anticipated traffic, and increased densities will not generate traffic in such amounts as to overload the street network outside the Planned District.
4. Any exception from standard ordinance requirements is warranted by the design and amenities incorporated in the precise site plan, in accord with adopted policy of the planning commission and the city council.
5. The area surrounding said development can be planned and zoned in coordination and substantial compatibility with the proposed development.
6. The P district is in conformance with the general plan of the City of Fremont.

Based on the information in the staff report it is clear that the Planned District conforms to the general goals, policies and the land use designation for the site.

7. Existing or proposed utility services are adequate for the project.

The utility companies were notified of the development. They did not state that they will be unable to provide services to the site.

CONDITIONS:

Prior to issuance of building permits:

General:

- A-1 Approval of this Planned District is based upon conformance with Exhibit "B" (Site Plan, Building Floor Plans and Elevations, Preliminary Landscape Plan), and all conditions of approval for PLN2005-00278 as set forth in Exhibit

"C". All colors and materials shall comply with those included in Exhibit "D", unless otherwise indicated in the conditions included herein.

- A-2 Plans shall be submitted to the Development Organization for review to insure conformance with relevant codes, policies and other requirements of the Fremont Municipal Code.
- A-3 The identified air quality impacts of grading and construction, dust suppression measures shall be incorporated into the project conditions of approval and construction drawings. Dust generated on the project site shall be controlled by watering all exposed areas at least twice daily during excavation, and especially during clearing and grading operations. Additional watering on windy or hot days is required to reduce dust emissions. Stockpiles of sand, soil, and similar materials shall be covered with a tarp. Cover trucks hauling dirt or debris to avoid spillage. Paving shall be completed as soon as feasible to reduce the time that bare surfaces and soils are exposed. In areas where construction is delayed for an extended period of time, the ground shall be replanted to minimize the generation of dust. A person shall be designated to oversee the implementation of the dust control program.
- A-4 Minor modifications to building designs and elevations may be made subject to review and approval of the Planning Director, if such modifications do not deviate from the architectural character of the original approval.
- A-5 Should any cultural resources or human remains be unearthed during site development work, work will immediately cease and the provisions of CEQA Guidelines, Article 5, Section 15064.5 will be followed.
- A-6 All roof mounted and other mechanical equipment shall be screened from view from adjacent public rights-of-way and other uses. No equipment shall project outside the face of the building, unless screened.
- A-7 All utility sources associated with the development of this project, including PG&E meters, and any roof mounted mechanical equipment shall be screened from view from the public right-of-way, and will be subject to the review and approval of staff during the Development Organization review process.
- A-8 Other than public roadway lights, no exterior lighting shall be permitted except those with a concealed source. No fluorescent "security lightning" sources shall be permitted on the exterior of the building unless they are adequately screened.
- A-9 Lighting fixtures in the parking areas shall be focused onto the project site and shielded away from adjacent roadways and residences. The design and details will be subject to the review and approval of staff during the Development Organization review process.
- A-10 The applicant shall design the building to be LEED (Leadership in Energy and Environmental Design) certifiable.
- A-11 The applicant shall use a less tinted (lighter gray) glazing in the front elevations that are visible to the public.

Environmental Services:

- B-1 External refuse and recycling storage areas (enclosures) shall be located near the building, and shall allow easy access by collection vehicles. They shall be designed and sized in compliance with FMC Section 8-22155 and the City's Waste Handling & Recycling Requirements and Policies (09/2002).
- B-2 Prior to beginning work on this project the applicant must complete and return to Environmental Services a **City of Fremont Waste Handling Plan**. Within 5 days of completing the work, the applicant must complete and return to Environmental Services a **City of Fremont Waste Disposal & Diversion Report**. A Project Waste Handling Plan must be completed by the applicant and returned to the Environmental Services Division before any demolition or construction permits are issued. The form can be obtained through the City of Fremont Environmental Services Division, 39550 Liberty Street, Fremont.
- B-3 The applicant will use as many environmentally friendly materials and construction techniques as available and feasible.

Engineering:

- C-1 Plans shall be submitted to the Development Organization for review and approval to insure conformance with relevant codes, policies, and other requirements of the Fremont Municipal Code.
- C-2 The developer shall remove the existing sidewalk and construct new sidewalk along the phase 1 project frontages on Central Avenue and Dusterberry Way. The replacement sidewalk shall be five feet wide as shown on exhibit A. The planter strip between the new sidewalk and existing curb shall be five feet six inches wide and shall be planted in accordance with City Standards. Existing street trees, which are to remain, shall be protected during all phases of construction.
- C-3 The new driveways, new sidewalk, and refurbished street pavement shall be designed to accommodate repeated exposure to fire apparatus and other heavy vehicle loads.
- C-4 Street improvement plans, including signing, striping, landscape, and utility plans, shall be submitted to the Development Organization. Street improvement plans are subject to review and approval of the City Engineer prior to issuance of the encroachment permit.
- C-5 The developer shall obtain an encroachment permit for all construction within the public right-of-ways Central Avenue and Dusterberry Way. The encroachment permit shall be obtained prior to or concurrently with the building permit for the project.
- C-6 The applicant shall submit a detailed soils report, including recommendations regarding pavement structural sections, prepared by a qualified soils engineer registered by the State of California. The soils report shall include specific recommendations for on site pavement areas that will experience repeated exposure to heavy vehicle loads.
- C-7 Grading operations shall be in accordance with recommendations contained in the required soils report and shall be supervised by an engineer registered in the State of California to do such work.
- C-8 The developer shall comply with the City's Urban Runoff Clean Water Program in accordance with the NPDES requirements issued by the State's Water Quality Control Board.
- C-9 The project design shall include storm water measures for the operation and maintenance of the project for the review and approval of the City Engineer. The project plan shall identify Best Management Practices (BMPs) appropriate to the uses conducted on site that effectively prohibit the entry of pollutants into storm water runoff.
- C-10 The developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Failure to comply with the approved construction Best Management Practices will result in the issuance of correction notices, citations, or stop orders.
- C-11 The property owner is responsible for litter control and for sweeping of all paved surfaces. Sidewalks, parking lots, and other paved areas must be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged to the storm drain.
- C-12 All on-site storm drains are to be cleaned prior to building occupancy and also be cleaned each year immediately before the beginning of the rainy season (October 15). Annual cleaning shall include inspection, maintenance, and/or replacement of provided storm water quality site design measures.
- C-13 All paved outdoor storage areas must be designed to reduce and limit the potential for runoff of contact pollutants. Bulk materials stored outdoors may need to be covered as determined by the City Engineer.

- C-14 All public and private storm drain inlets are to be stenciled "No Dumping – Drains to Bay" using stencils purchased from the Alameda County Urban Runoff Clean Water Program at 951 Turner Court, Hayward, California. Color and type of paint to be as approved by the City Engineer. Alternative inlet marking may be proposed by the applicant, subject to review and approval of staff during Development Organization.
- C-15 The developer and/or contractor shall notify Underground Service Alert (U.S.A.) at 1-800-227-2600 at least two working days before beginning any excavation for this project. A prominent note shall be included in the project plans requiring the notification of U.S.A.
- C-16 Site grading shall not obstruct natural flow from abutting properties or divert drainage from its natural watershed.
- C-17 The applicant shall provide for a functional system to control erosion and siltation during and after grading subject to review and approval by the City Engineer. An erosion and sediment control plan shall be included as part of the grading plans.
- C-18 Prior to issuance of a permit for land disturbance greater than one acre, the developer is to provide evidence that a Notice of Intent has been filed and with the State of California Water Resources Control Board. Evidence shall include the WDID number assigned by the State. The developer is responsible for insuring that all contractors are aware of all storm water quality measures contained in the Storm Water Pollution Prevention Plan (SWPPP).
- C-19 A disposal site for the off-site haul dirt materials or source for the import fill shall be approved by the City prior to the approval of the grading permit. The off-site haul route for the excess dirt or import fill shall be subject to the approval of the City Engineer.
- C-20 Interior floor drains shall be plumbed to the sanitary sewer system and shall not be connected to storm drains. The applicant shall contact Union Sanitary District for specific connection and discharge requirements.
- C-21 Landscaping shall be designed to minimize irrigation and runoff, promote surface infiltration where appropriate, and minimize the use of fertilizers and pesticides that can contribute to stormwater pollution.
- C-22 New or redevelopment projects such as food service facilities, recycling facilities and/or multi-family residential complexes or similar facilities shall provide a roofed and enclosed area for dumpsters and recycling containers. The area shall be designed to prevent water run-on to the area and runoff from the area and to contain litter and trash, so that it is not dispersed by the wind or runoff during waste removal.
- C-23 Runoff from food service areas, trash enclosures, recycling areas, and/or food compactor enclosures or similar facilities shall not discharge to the storm drain system. Trash enclosure areas shall be designed to avoid run-on to the trash enclosure area. Any drains installed in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities shall be connected to the sanitary sewer. The applicant shall contact Union Sanitary District for specific connection and discharge requirements.
- C-24 Wastewater from vehicle and equipment washing operations shall not be discharged to the storm drain system.

Landscape:

- D-1 Removal of street trees for the construction of driveways shall be mitigated by the planting of onsite and offsite trees. Tree species, quantity and size shall be determined upon discussion with staff and with the City's Maintenance Division.
- D-2 Clearly demarcate the extent of Phase I. The current work shall be complete onto itself in that it is clearly separated from the Phase II work. There shall be no open or unfinished planting areas dependent on Phase II work.

- D-3 A planting strip of a minimum 6' clear planting area shall be provided along the chainlink fence separating the current project site from the Phase II area, as well as along the northwesterly property line of the Phase 1 area.
- D-4 For reference, please note the following requirement from the LDRP for tree planting: "Branches from mature trees may not overhang buildings and roofs. Adequate space to plant trees adjacent to buildings or other built features must be provided in the following minimum ways:
- a) Small trees (to 15 feet tall) no closer than 6 feet from building or 2 feet* from paving, curbs, or walls with a minimum planting area 5 feet wide.
 - b) Medium trees (to 30 feet tall) no closer than 10 feet from building or 3 feet* from paving, curbs, or walls with a minimum planting area 6 feet wide.
 - c) Large trees (above 30 feet tall) no closer than 15 feet from building or 3 feet* from paving, curbs, or walls with a minimum planting area 6 feet wide, preferably 8 feet wide".
- D-5 All planting areas containing trees shall be free of all Utility Structures (including light standards). Clearances between Utilities and Trees shall conform to SD-34 City Standard Street Tree Clearances.
- D-6 A landscape plan shall be submitted to the Development Organization or the with Final Map Improvement Plans, or both, as directed by the City Landscape Architect, for review and approval, indicating full details regarding (1) paving materials and textures of walkways and paved pedestrian areas, (2) lighting of walkways and pedestrian areas with low intensity non-glare type fixtures, (3) screening of driveways and parking areas, and (4) landscaping of open areas. As part of the landscape plans the applicant shall submit:
- a) An underground irrigation plan.
 - b) Weed control specifications.
 - c) A lighting plan for the illumination of the building, pedestrian and parking areas. Type of lighting fixtures, their heights, intensity and direction shall be clearly indicated.
 - d) Construction details of raised planters, walkways, paths, benches, walls, fences, trellises, and other architectural features as appropriate to the project.
- D-7 All provisions of the City of Fremont Landscape Development Requirements and Policies (LDRP) shall apply to this project unless otherwise approved by the City Landscape Architect. A current copy of the LDRP is available at the Engineering Counter.
- D-8 Submit a complete Tree Survey that conforms to the LDRP pages 4-8 (Identify trees with a brief description of its condition). In addition to the onsite trees, there are a number of City street trees that should be included in the Tree Survey. Include the Magnolias on Central that may have been previously topped by PG&E, as well as trees on Dusterberry.
- D-9 The applicant shall provide landscaping within bio-swales, grassy swales and detention ponds in compliance with NPDES standards subject to staff review during the development organization review period. Trees shall not be planted in the flow line of the swale.
- D-10 Landscaping in the parking lot islands and areas adjacent to the building shall provide for stormwater treatment and management, i.e. vegetated swales, infiltration areas for roof drains, etc.
- D-11 Landscaping shall be designed with an efficient irrigation system to reduce runoff and promote surface filtration and, at the same time, minimize the use of fertilizers, herbicides and pesticides which can contribute to urban runoff pollution, subject to the review and approval of staff during the Development Organization review process. All landscaping shall be properly maintained.

Fire Department:

- E-1 The applicant shall meet all requirements in the 2001 California fire code and all local amendments to that code in Ordinance #2485.

- E-2 The applicant shall provide 2 additional fire hydrants:
- One shall be located shall be at the rear northwest corner of the project using project direction.
 - The second shall be just east of the southwest driveway. This hydrant may be either on site or public.
- E-3 The applicant shall increase the lateral connection, detector check valve and fire under ground service to 8 inches. It then may be reduced to 6 inch when there is a single hydrant to be supplied.
- E-4 The applicant shall increase the driveway width between the reserve apparatus storage building and the parking stall to at least 20 feet; 24 feet is preferred.
- E-5 The applicant shall install an automatic fire sprinkler system in the building for fire protection purposes. Waterflow and control valves must be monitored by a central alarm monitoring system and Central Station. The monitoring system shall have a smoke detector placed over the fire panel, a pull station, and an audible device located in a normally occupied location.
- E-6 Plan, specifications, equipment lists and calculations for the required sprinkler system must be submitted to the Fremont Fire Department Authority and Building Department for review and approval prior to installation. A separate plan review fee is required. Standard Required: N.F.P.A. 13 with local amendment
- E-7 Prior to installation, plans and specifications for the underground fire service line must be submitted to the Fremont Fire Authority and Building Department for review and approval. Please include cathodic protection or soils report stating why protection is not required. Standard Required: N.F.P.A. 24 and N.F.P.A 14.
- E-8 The applicant shall provide for approval a site plan/ Civil Utility Plan with the location of public, on-site fire hydrants and Fire Department Connections location(s).
- E-9 The applicant shall comply with Fremont code requirements for installation of fire retardant roof coverings.
- E-10 The applicant shall have a key box (Knox brand) located outside of buildings/gates and provide keys to the Fire Department so they may gain access. Vehicle gates shall use Knox lock or keyed over-ride switch. Gates shall also have an infrared receiver installed. Applications can be obtained at Fire Administration office, 3300 Capital Ave, Fremont.
- E-11 The applicant shall install Fire alarm system as required. The system must be monitored. The system must be N.F.P.A. 72 compliant and have an interior audible device per the C.F.C. Upon completion a "UL" serial numbered certificate shall be provided at no cost to the City of Fremont Fire and Life Safety Inspector. Fire alarm systems devices shall be addressable and report to the Central Monitoring Station addressable.
- E-12 Gates across Fire Department access roads shall have a minimum 15-foot clear, unobstructed linear width and a clear vertical height of 13 feet 6 inches. All locking devices shall provide for Fire Department emergency access with Knox box, lock or over -ride switch. (CFC 2000, Sec. 902.2.4 & 902.2.1.)
- E-13 Fire Department Connections for all sprinkler system must be located not more than 100 feet from a fire hydrant. N.F.P.A 14. All inlets shall have Knox type caps and signs/address placards installed at the connection.
- E-14 Fire hydrant spacing requirement is 300 feet. Spacing. The distance is measured as the fire engine travels on all-weather surfaces.

Hazardous Materials:

- E-15 The applicant must submit, prior to the issuance of building permits, a building occupancy classification inventory form or hazardous materials inventory statement (HMIS), material safety data sheets (MSDSs) and a process description for all hazardous materials to be used, stored, or handled. These must accompany the final design submittals and any subsequent tenant improvement plans. If no hazardous materials will be on-site the applicant

must prepare and submit a written disclosure letter. The property owner or applicant must also notify a prospective tenant that they may be required to submit, to the Fire Department, a hazardous materials inventory statement (HMIS), material safety data sheets (MSDSs) and process descriptions for all hazardous materials to be used, stored, or handled.

- E-16 The applicant must complete a hazardous materials business plan (HMBP) pursuant to Chapter 6.95 of California's Health and Safety Code and Title 19, section 2620-2732, of California's Code of Regulations (CCR). Fire Department approval of the HMBP must be received and any necessary storage or operating permit(s) secured prior to moving hazardous materials onto the site.
- E-17 The applicant must develop a risk management program (RMP) that conforms to Chapter 6.95 of California's Health and Safety Code and Title 19, section 2620-2732, of California's Code of Regulations (CCR). Applicant shall receive Fire Department approval prior to the issuance of building permits.
- E-18 The applicant shall comply with the provisions of the permits required from any state or regional agencies, including, but not limited to, the Bay Area Air Quality Management District (BAAQMD), Regional Water Quality Control Board (RWQCB), Union Sanitary District's (USD) POTW and the Alameda County Department of Environmental Health.
- E-19 The portion of the facility to be converted to another use, shall be free of any reported hazardous materials and properly closed with the local agency (ies), as required by California Health and Safety Code, Chapter 6.95, and as detailed in the Hazardous Materials Business Plan filed with the City of Fremont Fire Department.
- E-20 The applicant must immediately notify the Fremont Fire Department, Hazardous Materials Unit of any underground pipes, tanks or structures; any suspected or actual contaminated soils; or other environmental anomalies encountered during site development activities. Any confirmed environmental liabilities will need to be remedied prior to proceeding with site development.
- E-21 The applicant must submit a Phase 1 and/or Phase 2 environmental site assessment(s). Additional requirements, remediation and/or clearances from Alameda County Health Department, Alameda County Water District, Regional Water Control Board, Department of Toxic Substances Control, or other agencies may be established subsequent to staff's review.

During Construction

- F-1 Hours of construction shall be limited to 7 a.m. to 6 p.m. Monday through Friday, and 9 a.m. to 6 p.m. Saturday. No construction shall be permitted on Sundays. Failure to comply with the hours of operation, as listed above, will result in withholding of inspections.
- F-2 The project shall comply with dust suppression measures. Dust generated on the project site shall be controlled by watering all exposed areas at least twice daily during excavation, and especially during clearing and grading operations. Additional watering on windy or hot days is required to reduce dust emissions. Cover stockpiles of sand, soil and similar materials with a tarp. Cover trucks hauling dirt or debris to avoid spillage. Paving shall be completed as soon as is practicable to reduce time that bare surfaces and soils are exposed. In areas where construction is delayed for an extended period of time, the ground shall be re-vegetated to minimize the generation of dust. Street sweeping shall be conducted to control dust and dirt tracked from the project site off site. A person shall be designated to oversee the implementation of dust control

Prior to release of building for occupancy:

- G-1 The property owner is responsible for litter control and for sweeping of all paved surfaces. Sidewalks, parking lots, and other paved areas must be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged to the storm drain.

- G-2 All on-site storm drains are to be cleaned prior to building occupancy and also be cleaned each year immediately before the beginning of the rainy season (October 15). Annual cleaning shall include inspection, maintenance, and/or replacement of catch basin filter inserts. The City Engineer may require additional cleaning.
- G-3 All public and private storm drain inlets shall be labeled "No Dumping - Drains to Bay", using stencils purchased from the Alameda County Urban Runoff Clean Water Program, located at 951 Turner Court, Hayward, California. Color and type of paint used shall be subject to the review and approval of the City Engineer prior to the issuance of building permits for the project.

After Occupancy:

- H-1 The project architect/ engineer shall submit a letter to the City certifying the building has been constructed in conformance with the approved architectural plan, subject to the review and approval of the Planning Director.



April 21, 2005

PROJECT DESCRIPTION

Fire Station 6
City of Fremont
Project 0321400.10

The proposed new two-story Fire Station No. 6 is located at 4355 Central Avenue. The site is a 2.5 acre parcel on the northwest corner of Dusterberry Way and Central Avenue. Adjacent neighbors include the Department of Motor Vehicles to the east across Dusterberry Way, Centerville Presbyterian Church and apartments to the south across Central Avenue, an apartment complex to the west, and a light industrial auto repair shop to the north. Site design must be sensitive to the adjacent uses and must address the corner street intersection.

The Fire Department's analysis of the incoming call volume indicates responses onto Central Avenue with apparatus return driveway on Dusterberry Way opposite the DMV driveway. The driveway arrangement allows the main living portion of the station to address the corner intersection with the public lobby as the focal point. A 6' high solid wall is proposed around the perimeter for privacy and security. Other site features include a separate 2,600 s.f. reserve Apparatus/Storage Building, emergency back-up generator, a future 2,000 s.f. Conference/Training Room, and appropriate parking and landscaping.

The proposed fire station consists of a 4-bay wide, double-deep Apparatus Bay, large Public Lobby, Battalion Chief Quarters, staff work spaces, and living quarters. The Day Room, Kitchen, and Dining Room are grouped together with access to the secured staff parking and patio area. Staff will have individual dormitory and single accommodation bathrooms for privacy and separation of male and female staff. Proposed construction materials are concrete block masonry Apparatus Bay, wood framed walls, metal plate roof trusses, and concrete floor slab on grade. Exterior finishes include textured stucco painted finish, curved profile concrete roof tiles, ceramic tile accent, exposed metal trellis trim, tinted double-glazed windows, and steel doors.

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